

CONSTRUCTION NOTES

- ALL CONSTRUCTION IS TO CONFORM TO "RESIDENTIAL CODE" OF THE STATE OF NEW YORK, EFFECTIVE JANUARY 1, 2003 AND LOCAL BUILDING CODES.
- ALL PLUMBING IS TO CONFORM TO LOCAL AND COUNTY HEALTH REQUIREMENTS.
- ELECTRIC IS TO CONFORM TO LOCAL, N.E.C. AND UNDERWRITERS REQUIREMENTS.
- CONCRETE IS TO BE 3000PSI MIN. ON 1 TON PSF. SOIL BEARING CAPACITY, VERIFY. CONCRETE FOR GARAGE SLABS AND EXPOSED STEPS TO BE 3500 PSI W/ REIN.
- DOUBLE FRAME AROUND ALL OPENINGS AND UNDER PARALLEL PARTITIONS AND BATHTUBS.
- NOTIFY ARCHITECT OF ALL CHANGES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES WITHOUT NOTIFICATION.
- DO NOT SCALE THE DRAWINGS.
- TECO CONNECTIONS REQUIRED AT ALL FLUSH STRUCTURAL LOAD CARRYING CONDITIONS.
JOISTS AND RAFTERS:
DOUG-FIR LARCH NO. 2 AND BETTER.
HEADERS AND GIRDERS:
DOUG-FIR LARCH NO. 2 AND BETTER.
- PRE-FABRICATED FIREPLACES AND FLUES TO BE U.L. APPROVED.
- INSTALL SMOKE AND CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH ALL MUNICIPAL AND STATE CODE REQUIREMENTS.
- EXHAUST FANS IN TOILET ROOMS TO BE 50 cfm MIN. VENTED TO EXTERIOR.
- ALL RAILINGS, INTERIOR AND EXTERIOR, TO HAVE BALUSTERS TO BE SPACED SO AS TO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER.

ENERGY NOTES

- CALCULATION VALID UP TO 5,999 DEGREE DAYS.
- CONFORMANCE CERTIFIED FOR ZONE 11B
- FRAME WALLS, FLOORS, AND CEILINGS TO HAVE AN APPROVED VAPOR RETARDER (PERMEANCE RATING OF 1.0 PERM) INSTALLED ON THE WARM - IN - WINTER SIDE OF THE THERMAL INSULATION.
- WINDOWS AND SLIDING DOORS TO HAVE A MAXIMUM AIR INFILTRATION RATE OF 0.3 CFM PER SQUARE FOOT OF WINDOW AREA. SWINGING DOORS TO HAVE A MAXIMUM AIR INFILTRATION RATE OF 0.5 CFM PER SQUARE FOOT OF DOOR AREA.
- INSULATE SKYLIGHT SHAFTS R-19 MINIMUM.
- DOORS, FRONT, SIDES, INSIDE OF GARAGE: U= .40 MAX.
- ALL FIREPLACES TO BE PROVIDED WITH A DAMPER FOR OUTSIDE COMBUSTION AIR 150-200 CFM FLUE TO HAVE TIGHT SEATED DAMPER: MAX AIR LEAKAGE 20 CFM. FIREPLACES SHALL HAVE TIGHT-FITTING NON COMBUSTIBLE DOORS
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT THE SIZE, DESIGN, AND TYPE OF MECHANICAL SYSTEMS WHICH WILL BE USED IN SUFFICIENT DETAIL AS REQUIRED BY THE BUILDING DEPARTMENT.
- ALL THERMOSTATS SHALL BE ADJUSTABLE 55 DEGREES TO 85 DEGREES F .
- INSULATE ALL DUCTS AND PIPES AS REQUIRED BY CODE.
- H.V.A.C. CONTRACTOR TO VERIFY HEAT LOSS CALCULATIONS.
- CELLAR/BASEMENT DOORS TO BE INSULATED.
- THE ARCHITECT CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT THE PLANS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (MAY 2002)

THE MOHRMAN RESIDENCE

SOUTHAMPTON MEADOWS LOT # 40

SOUTHAMPTON, NEW YORK

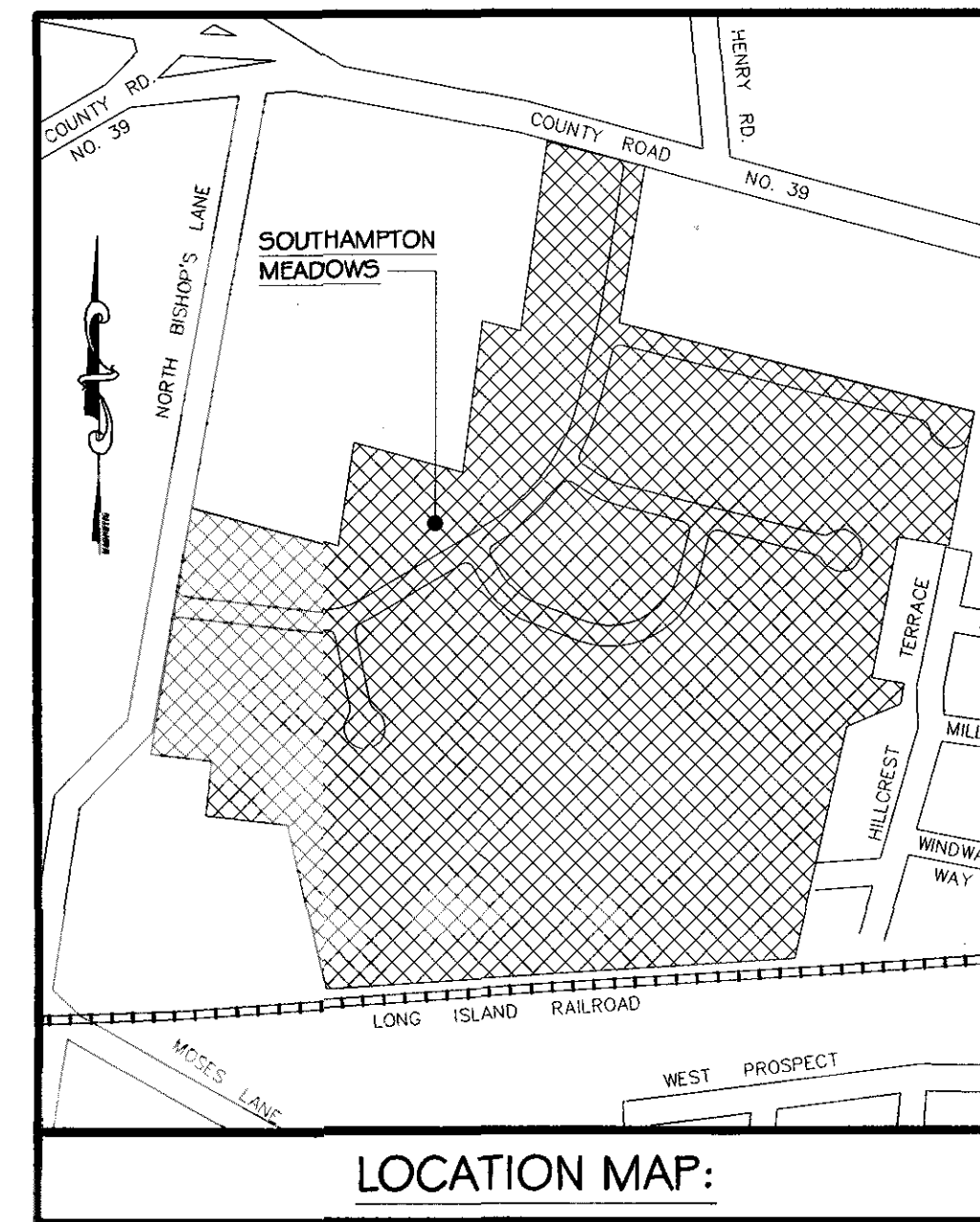
SOUTHAMPTON MEADOWS

CONSTRUCTION CORP.

SOUTHAMPTON ZONING CODE
Chapter 330-109A (5)
Fences/Walls

All fences to be erected will have a finished side of the fence facing toward adjoining neighboring properties.

No oversight, error or omission on the part of the Building Inspector or his representative shall legalize the erecting, construction, alteration, removal, use or occupancy of a building or structure that does not conform to the provisions of the NY State Fire Prevention and Building Codes and code of the Town of Southampton Zoning Regulations



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	45 PSF	
WIND SPEED (mph)	120	
SEISMIC DESIGN CATEGORY	C	
SUBJECT TO DAMAGE FROM	WEATHERING	SEVERE
	FROST LINE DEPTH	3'-0"
	TERMITE	MOD-TO HEAVY
	DECAY	SLIGHT TO MODERATE
WINTER DESIGN TEMP	11°	
ICE SHIELD UNDERLAYMENT REQUIRED	YES	
FLOOD HAZARDS	NO	

CODE ANALYSIS

OCCUPANCY: RESIDENTIAL
REFERENCE STANDARDS:
RESIDENTIAL CODE OF NEW YORK STATE WOOD FRAME CONSTRUCTION MANUAL, AF & PA 1995 EDITION
CLIMATE ZONE: 11B
DEGREE DAYS : 5750

DESIGN LOADS
DECKS 40 PSF
ATTICS 20 PSF
ROOMS OTHER THAN SLEEPING ROOMS 40 PSF
SLEEPING ROOMS 30 PSF
STAIRS 40 PSF
HANDRAILS 200#
ROOF 45 PSF (GROUND SNOW LOAD)
BASIC WIND SPEED 120 MPH
UPLIFT 18.1 #
DEAD LOADS 10 PSF

DEFLECTION LIMITS:
RAFTERS WITH NO FIN. CEILING ATTACHED 1/180
FLOORS 1/360

EGRESS WINDOW SCHEDULE (ALL SLEEPING ROOMS)

FIRST FLOOR	REQD CLEAR OPENING	PROVIDED (S.F.)
DEN	5.0	5.70
SECOND FLOOR		
BEDROOM 1	5.7	5.70
BEDROOM 2	5.7	5.70
BEDROOM 3	5.7	5.70
MASTER BEDROOM	5.7	5.70

NOTE: AT LEAST ONE WINDOW IN EVERY BEDROOM TO BE EGRESSABLE AS PER THE FOLLOWING:
1. MINIMUM NET CLEAR OPENING WIDTH 20".
2. MINIMUM NET CLEAR OPENING HEIGHT 24".
3. SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.
4. MINIMUM CLEAR OPENING AREA 5.7 SQ. FT. (5.0 SQUARE FEET AT GRADE FLOOR OPENINGS)

SAFETY GLASS REQUIREMENTS

- SAFETY GLAZING REQUIRED AT THE FOLLOWING LOCATIONS:
- ANY GLAZING IN ANY TYPE OF DOOR
 - GLAZING IN ANY WALL ENCLOSEING A TUB, SHOWER, SAUNA, OR STEAM ROOM.
 - ANY WINDOW WITHIN 2' OF A DOOR.*
 - ANY INDIVIDUAL PANE OF GLASS > 9.0 SQ. FEET WHERE THE BOTTOM IS < 18" ABOVE ANY FLOOR WITHIN 3' OF THE WINDOW.
 - GLAZING IN WALLS OF INDOOR POOLS, HOT TUBS, SPAS WITHIN 5' OF THE WATER.*
 - GLAZING IN STAIRWAYS AND LANDINGS WITHIN 3'-0" HORIZONTALLY OF A WALKING SURFACE.*
- * THE REQUIREMENT DOES NOT APPLY IF THE BOTTOM EDGE OF THE GLASS IS MORE THAN 60" ABOVE THE FLOOR.

NEW WINDOW AND GLASS DOOR STORM PROTECTION:

120 MPH BASIC WIND SPEED

ALL NEW WINDOWS AND GLASS DOORS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 1996 AND OR ASTM E 1886.
OR
CONTRACTOR TO PROVIDE PRE-CUT 1/2" PLYWOOD PANELS, MAX. SPAN 8' TO COVER THE GLAZED OPENINGS (SCREW INTO TRIM ONLY). PRE DRILL EDGES AT 9" O.C. TO ACCEPT 2 1/2" #8 WOOD SCREWS TOP AND BOTTOM # CONFORM TO TABLE R-301.2.1.2 PLYWOOD PANELS TO BE MARKED FOR LOCATION AND STORED ON SITE.

DRAWING INDEX

- TITLE SHEET
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A-2 FIRST FLOOR PLAN
A-3 SECOND FLOOR PLAN
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A-6 SECTIONS
A-7 DETAILS AND SCHEDULES

BUILDING DEPARTMENT
APPROVED PLANS MUST BE ON SITE
123-10D

TOWN OF SOUTHAMPTON
BUILDING DIVISION
APPROVED WITH CONDITIONS/COMMENTS:
SEE NOTES & ATTACHMENTS
WINDOWS SHALL BE INSTALLED PER MANUFACTURER'S
SPECS.

PROJECT NO. 05.72 - C
DATE: 3/22/06

APPROVALS

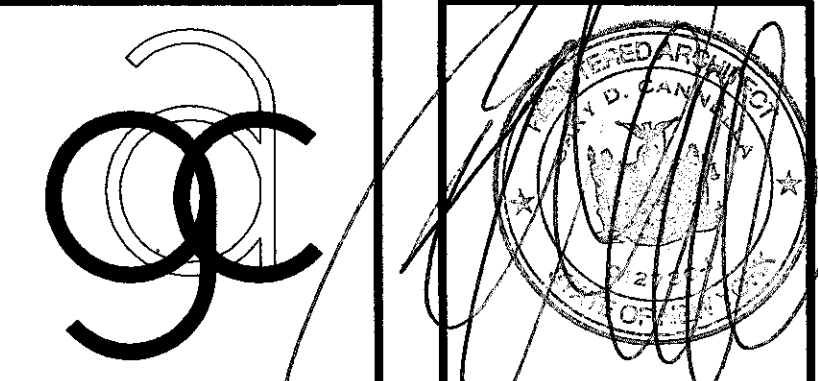
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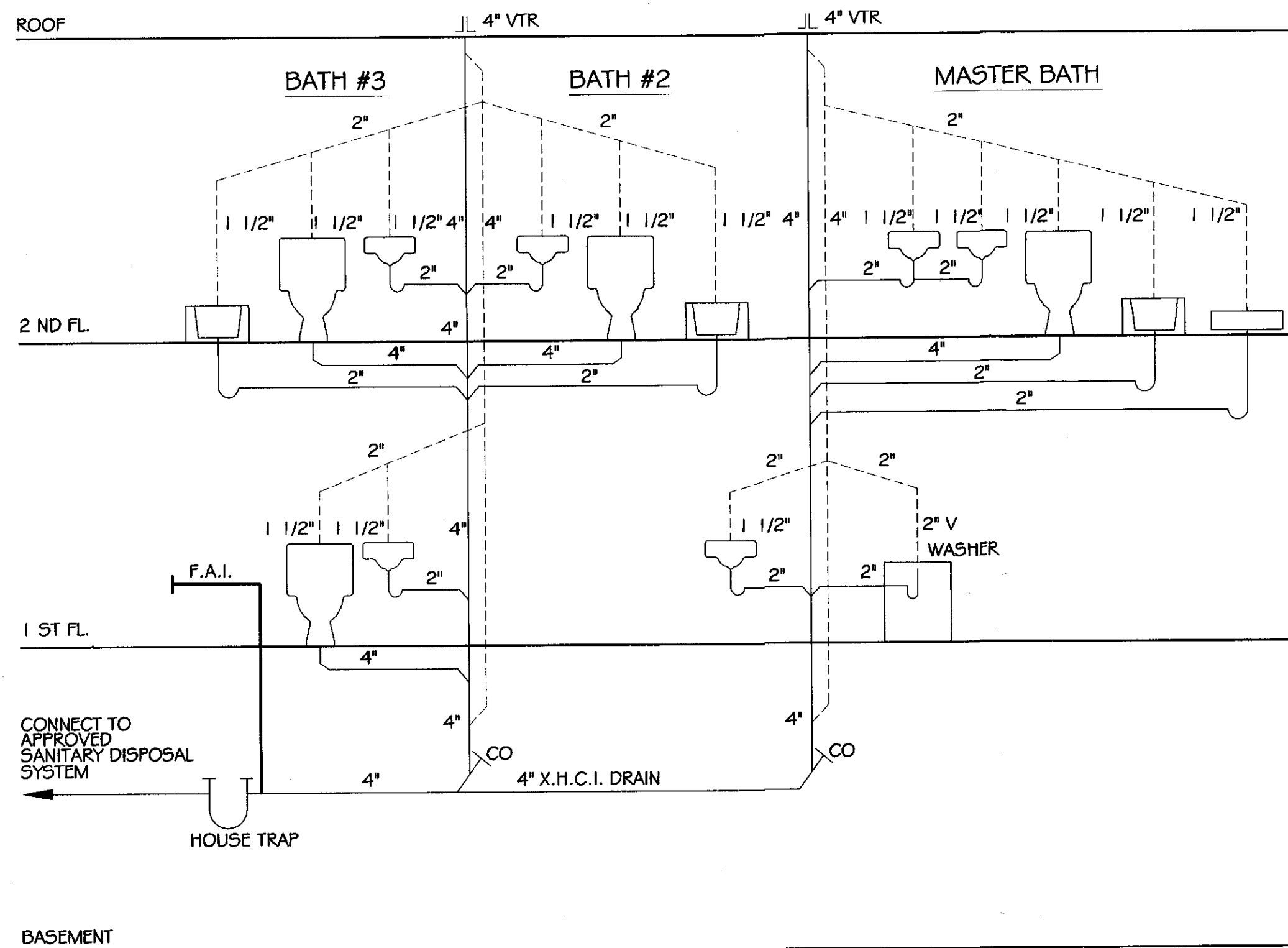
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chkd. by: GDC

revisions:

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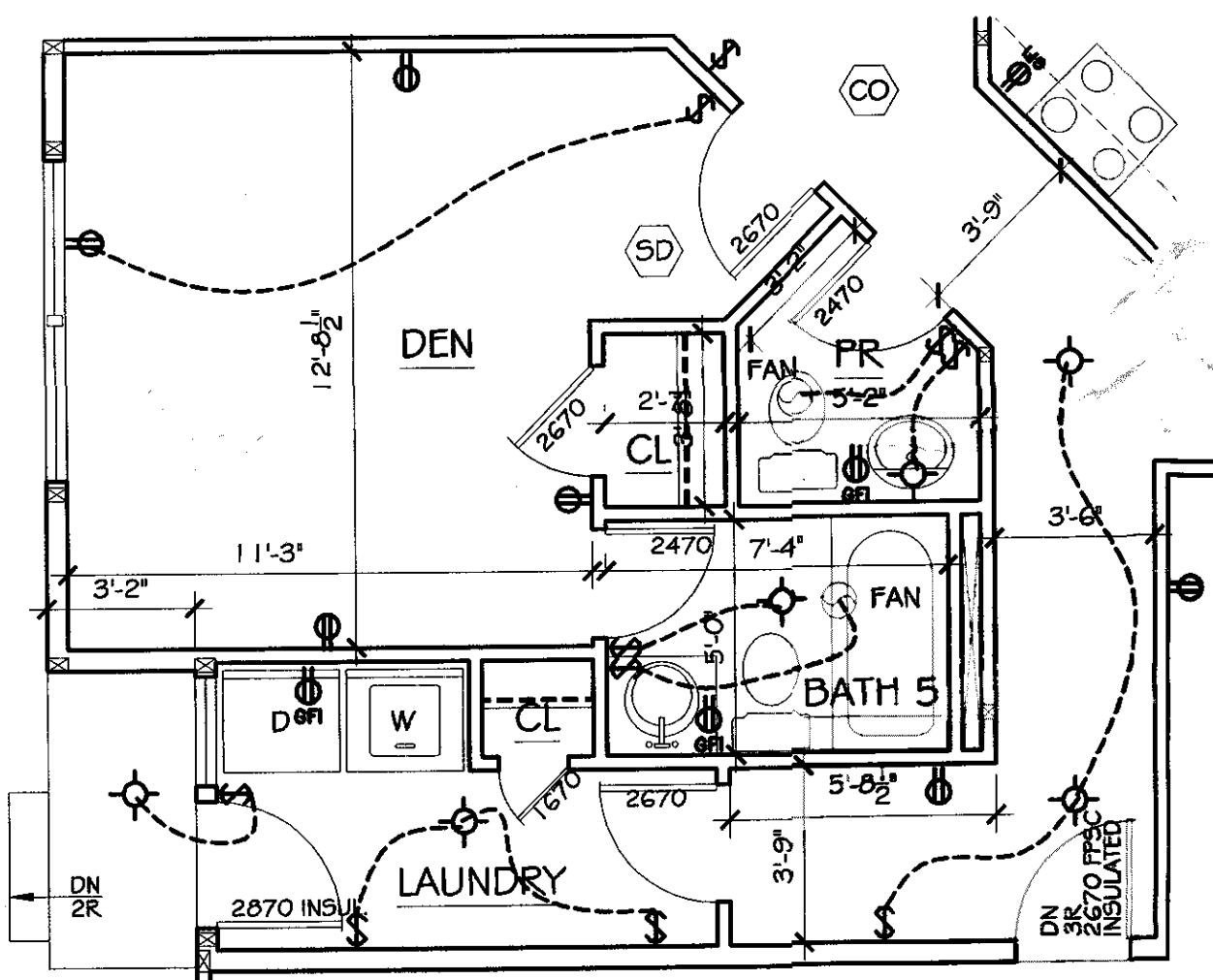
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PLUMBING RISER DIAGRAM

NOT TO SCALE



OPTIONAL BATH # 5 LAYOUT

SCALE: 1/4" = 1'-0"

NOTE:
BUILDING OPTIONS PURCHASED MAY ALTER LAYOUTS. REFER TO BUILDING DEPARTMENT SET OF PLANS FOR UNITS / BUILDING CONSTRUCTION.

GENERAL NOTE:
1. HOUSE MAY BE CONSTRUCTED IN REVERSE
2. ALL CONVENTIONAL FRAMING DIMENSIONS BARE STUD TO STUD UNLESS OTHERWISE NOTED

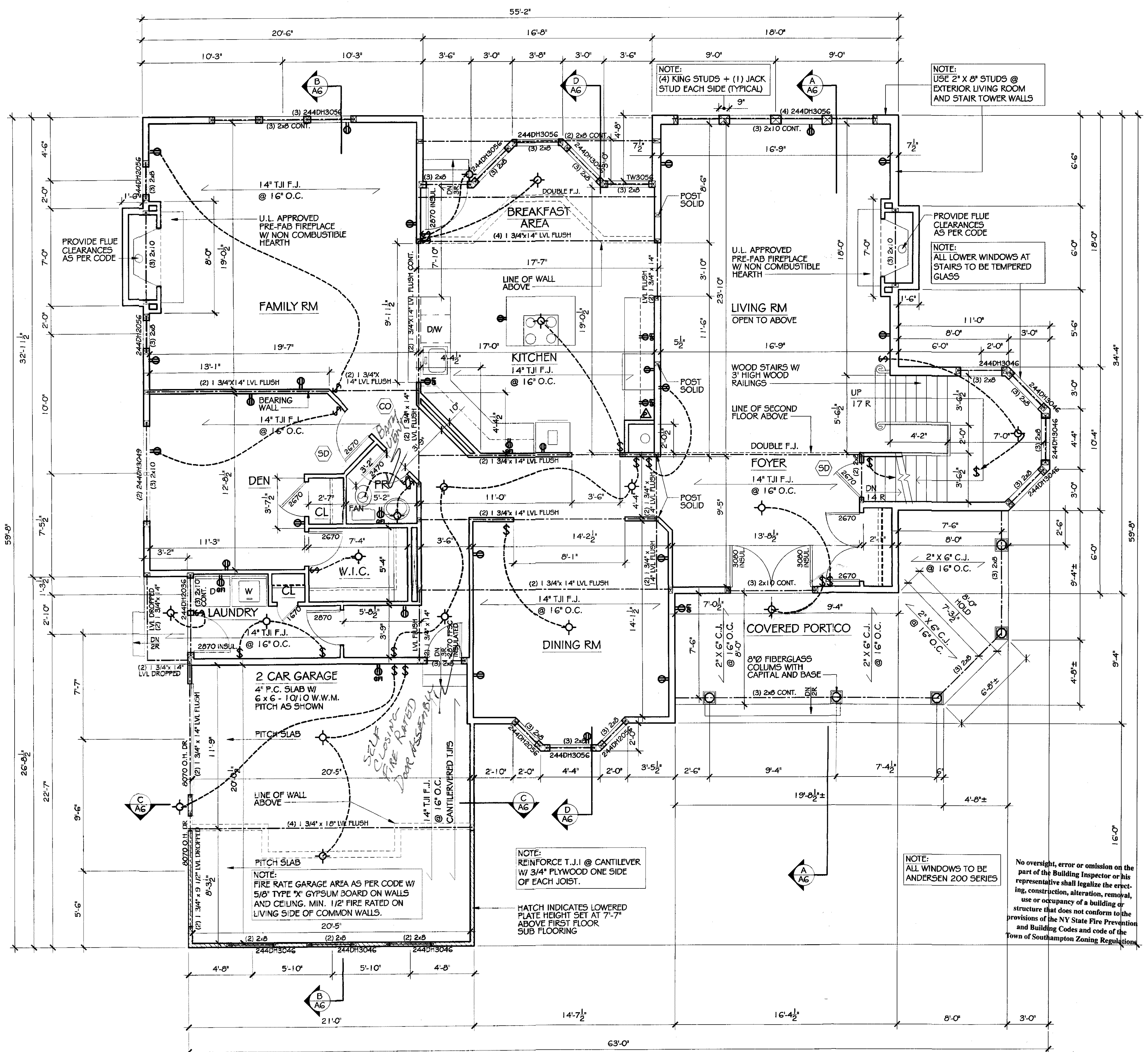
NOTE:
1. UNAUTHORIZED ADDITIONS, ALTERATIONS OR USE OF THIS PLAN IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
2. THIS PLAN SHALL BE NULL & VOID UNLESS BEARING THE ORIGINAL SEAL & SIGNATURE OF THE DESIGN ARCHITECT.

AREA CALCULATIONS:

SECOND FLOOR AREA	1,873 SQ. FT.
FIRST FLOOR AREA	2,193 SQ. FT.
TOTAL FLOOR AREA	4,066 SQ. FT.
GARAGE AREA	425 SQ. FT.
TOTAL FOOTPRINT	2,618 SQ. FT.

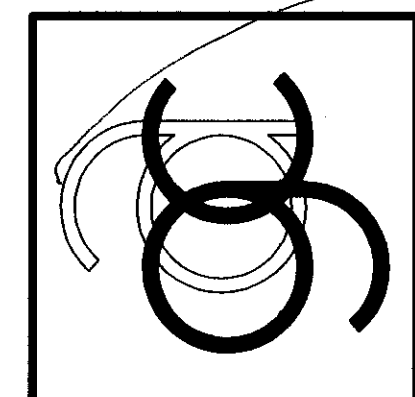
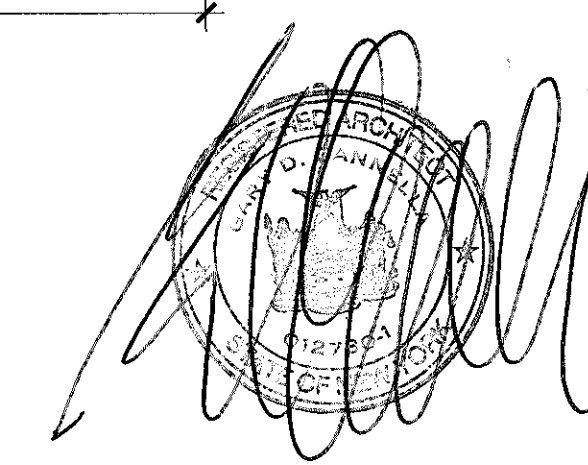
LEGEND OF SYMBOLS

SD	SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR
⚡	LIGHT SWITCH
⊕	DUPLEX RECEPTACLE
⊕⊕	DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPT
⊙	LIGHT FIXTURE
⊙-P.C.	LIGHT FIXTURE W/ PULL CHAIN



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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SOUTHAMPTON MEADOWS
CONSTRUCTION CORP.

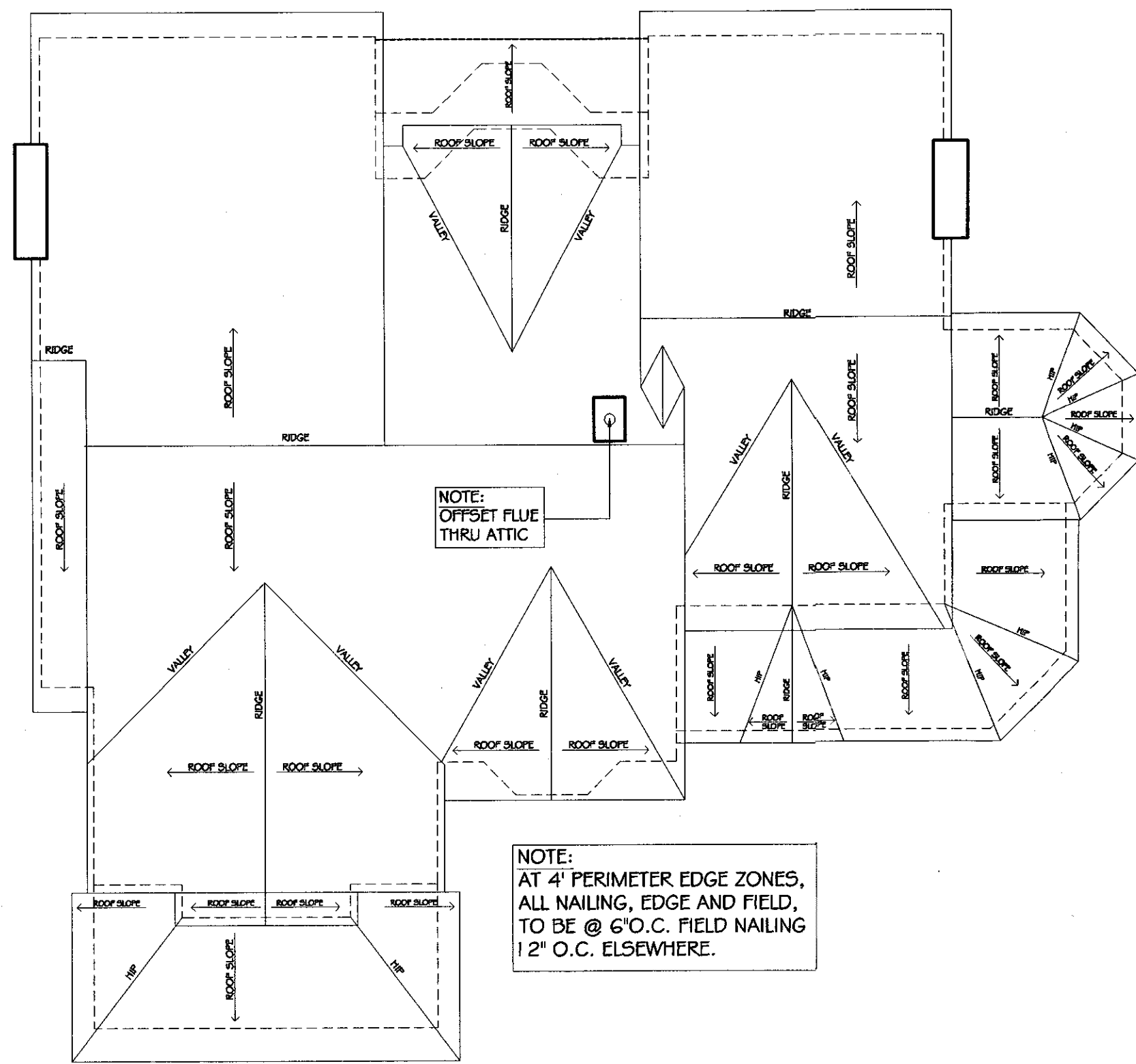
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revisions:

date: 3/22/06
proj. #:05.72- 40 C

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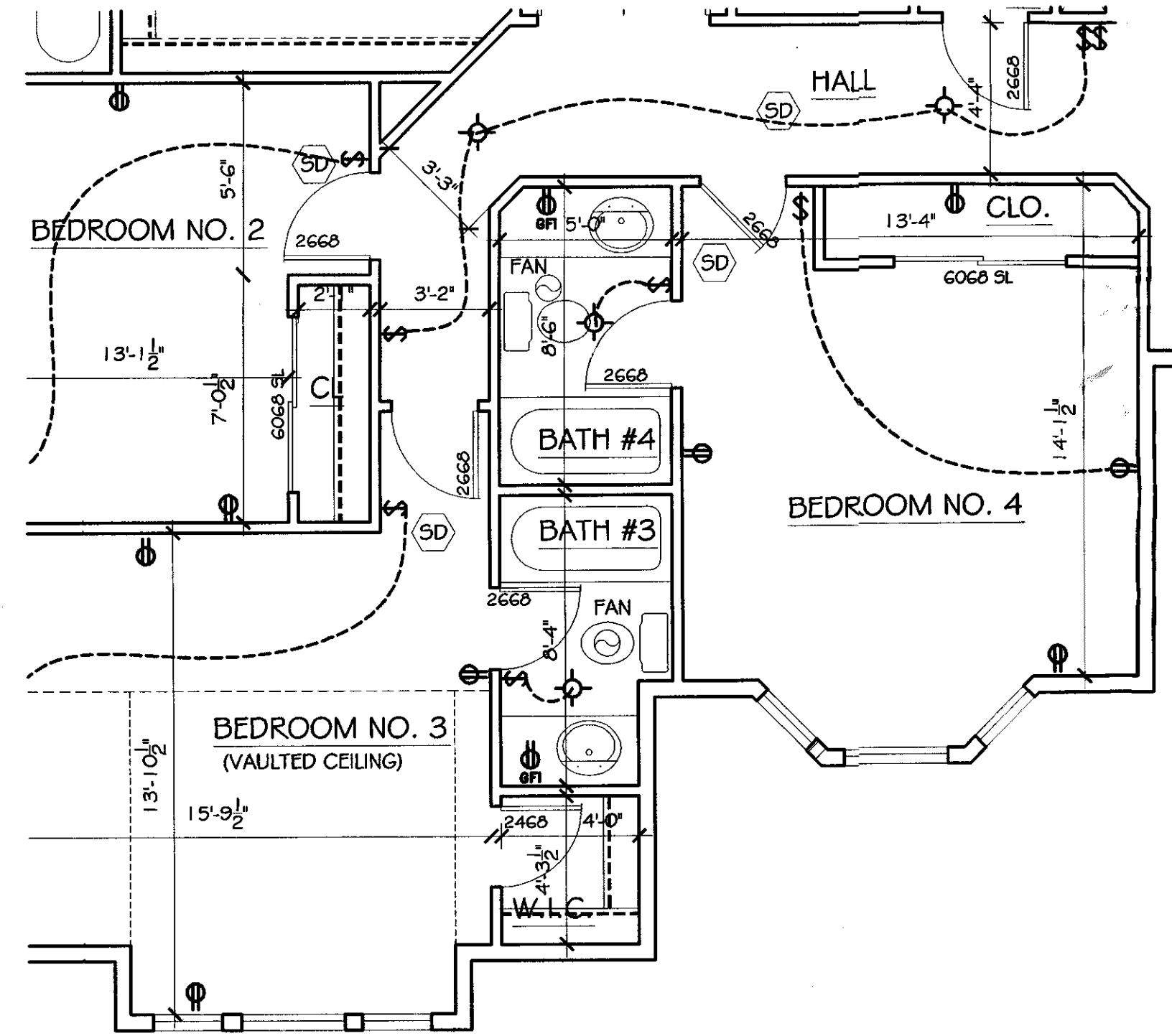
sheet no.
A-2

No oversight, error or omission on the part of the Building Inspector or his representative shall legalize the erecting, construction, alteration, removal, use or occupancy of a building or structure that does not conform to the provisions of the NY State Fire Prevention and Building Codes and code of the Town of Southampton Zoning Regulations.



ROOF PLAN

SCALE: 1/8" = 1'-0"



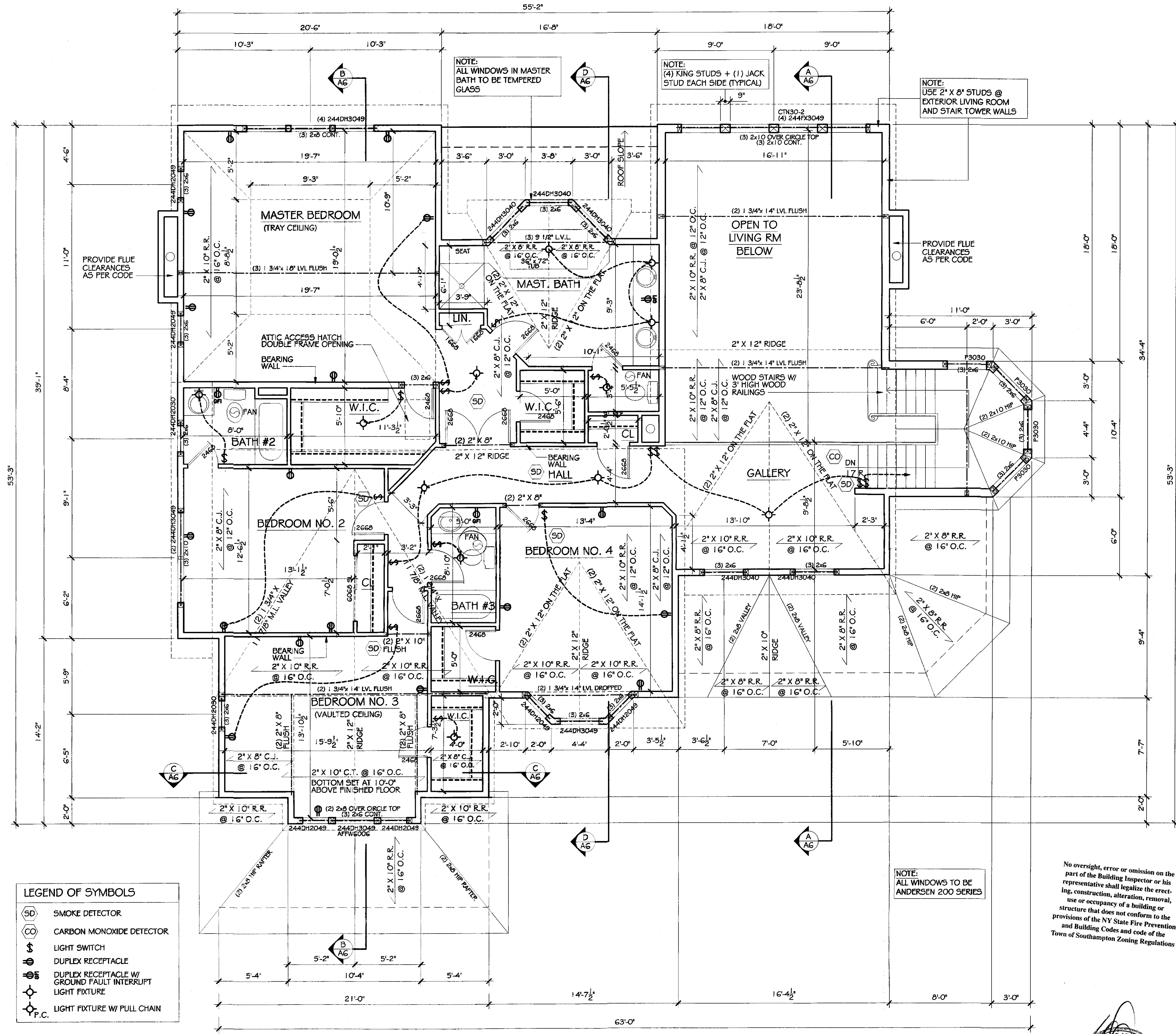
OPTIONAL BATHROOM LAYOUTS

SCALE: 1/4" = 1'-0"

NOTE:
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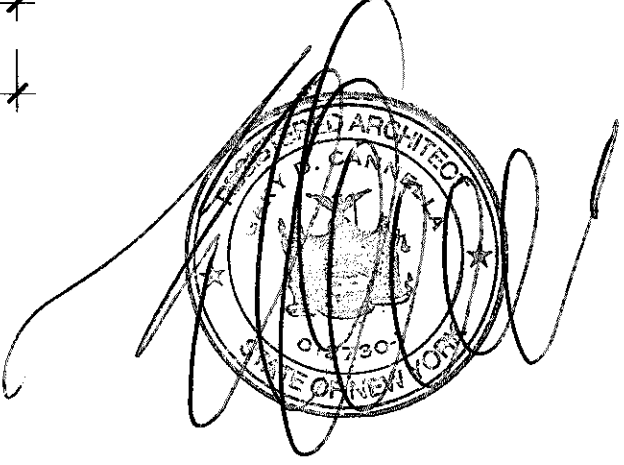
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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 SOUTHAMPTON MEADOWS
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SECOND FLOOR PLAN, ROOF PLAN

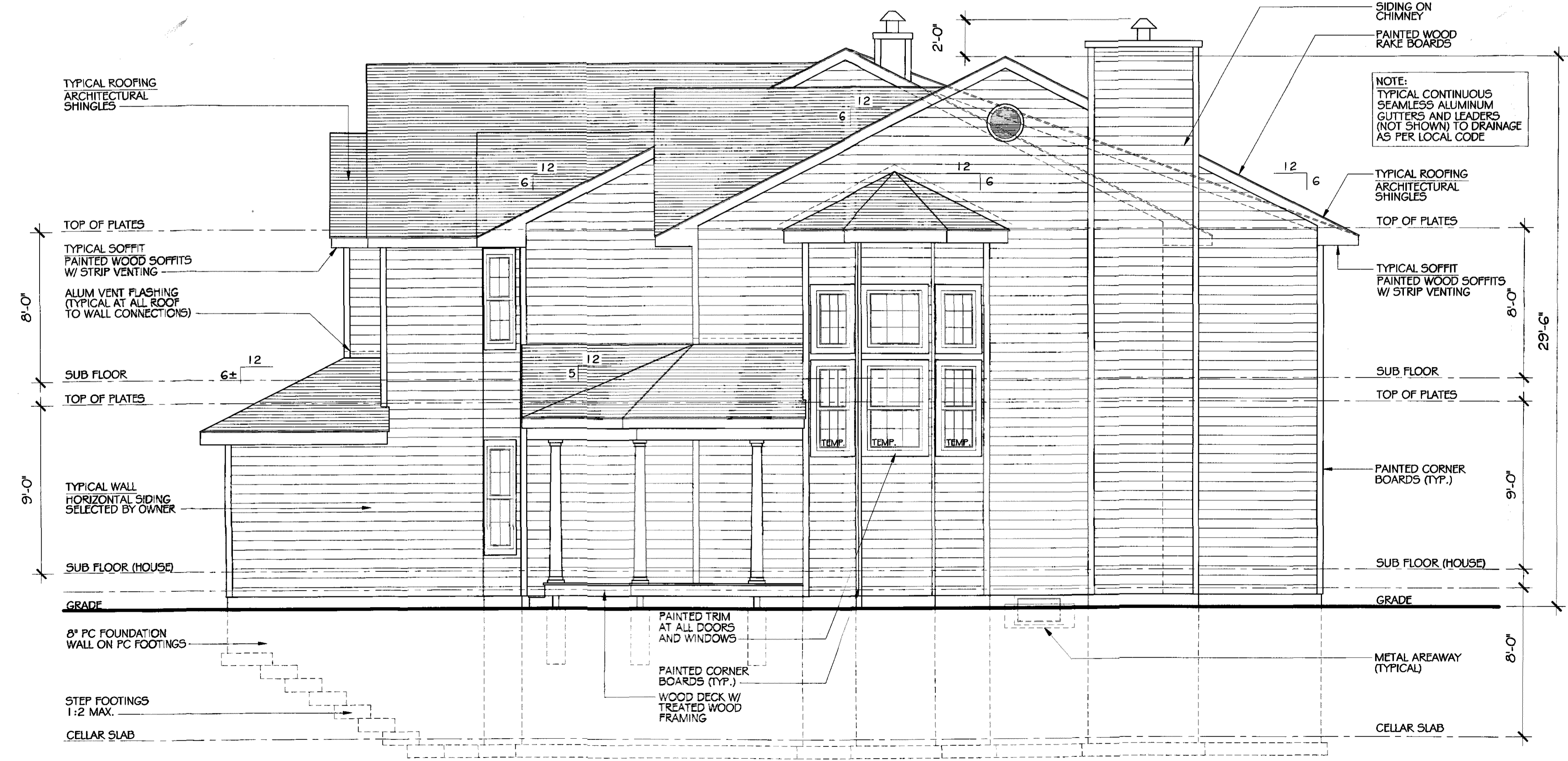
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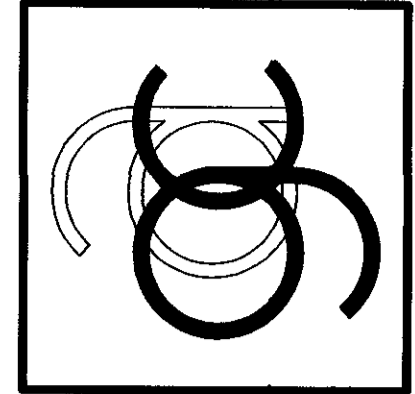
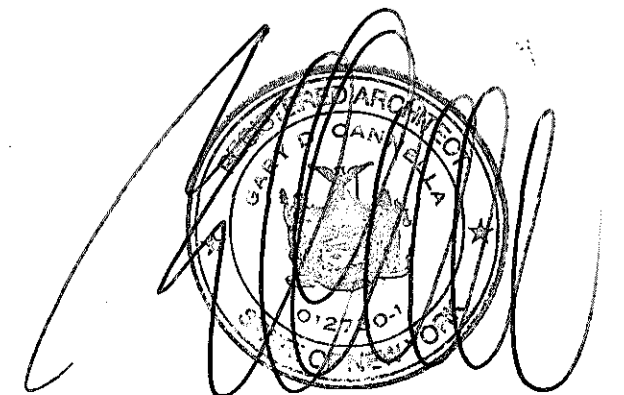


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATIONS
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proj. #05.72-40 C

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REAR ELEVATION

SCALE: 1/4" = 1'-0"

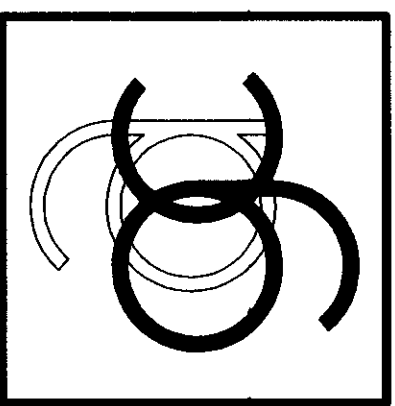
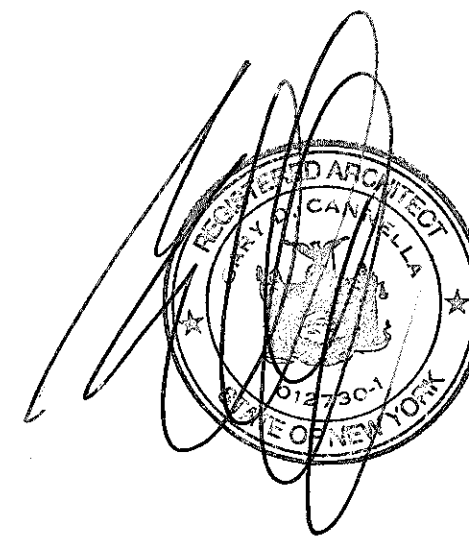


LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
TYPICAL CONTINUOUS SEAMLESS ALUMINUM GUTTERS AND LEADERS (NOT SHOWN) TO DRAINAGE AS PER LOCAL CODE

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ELEVATIONS

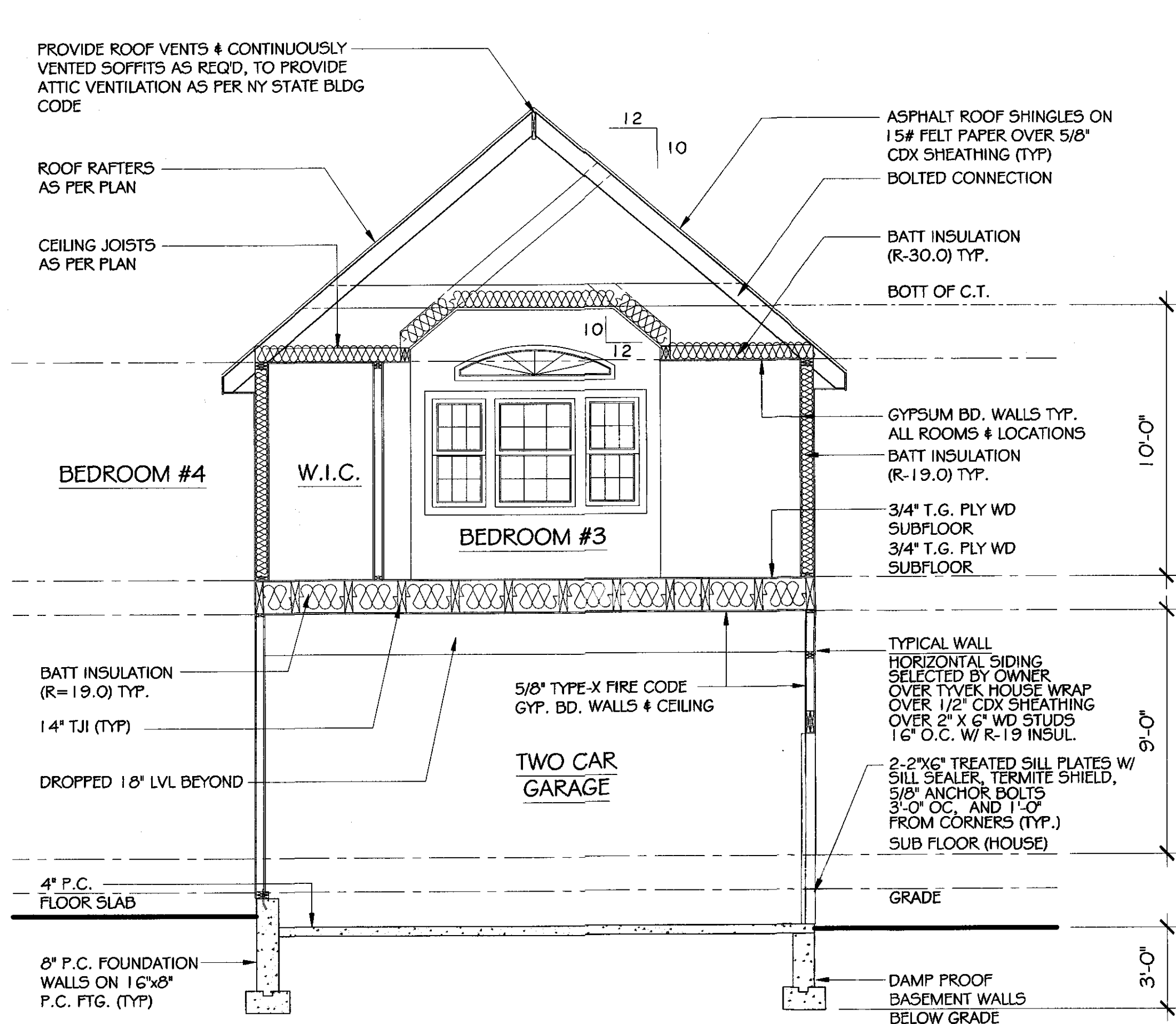
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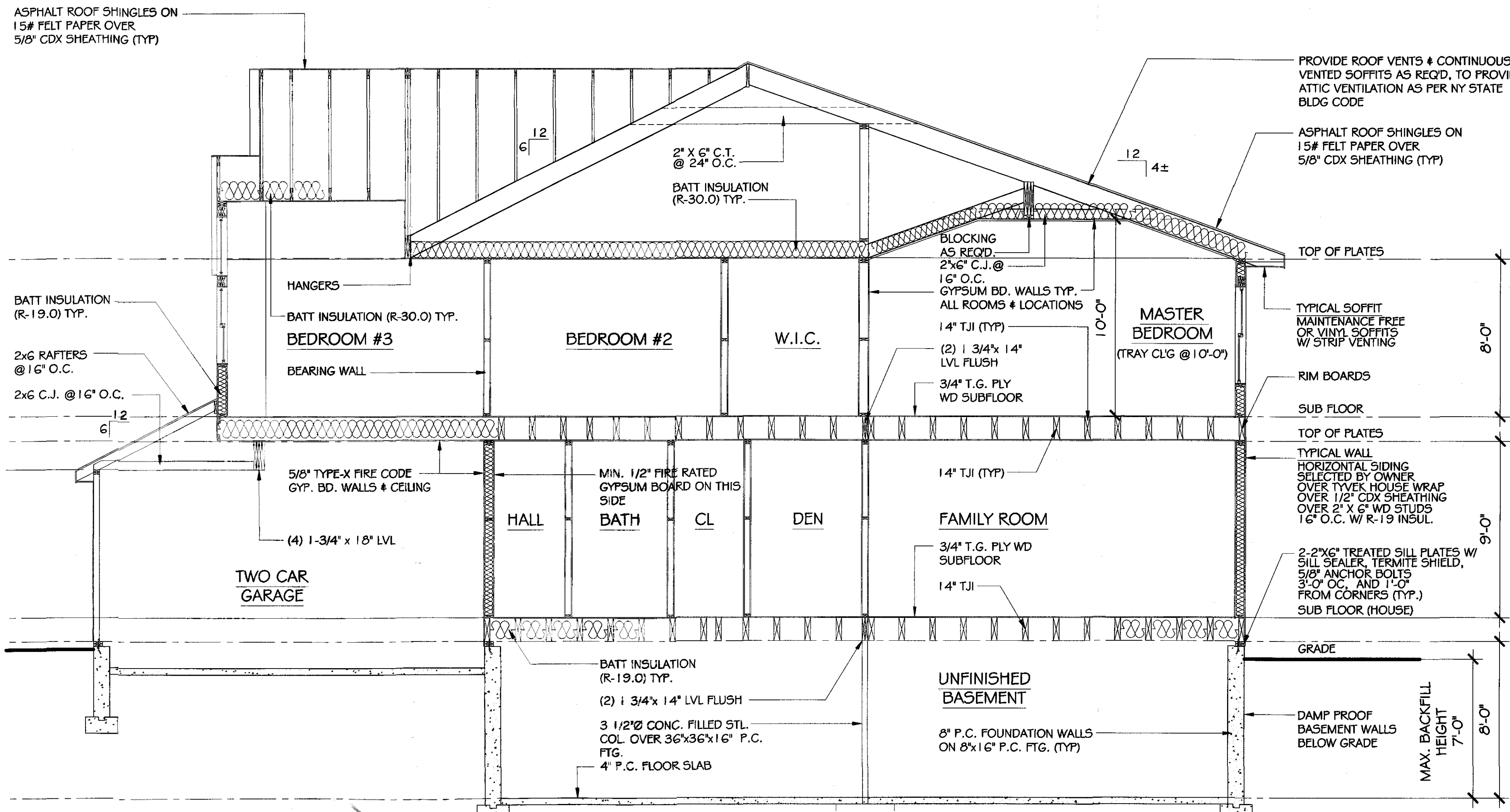
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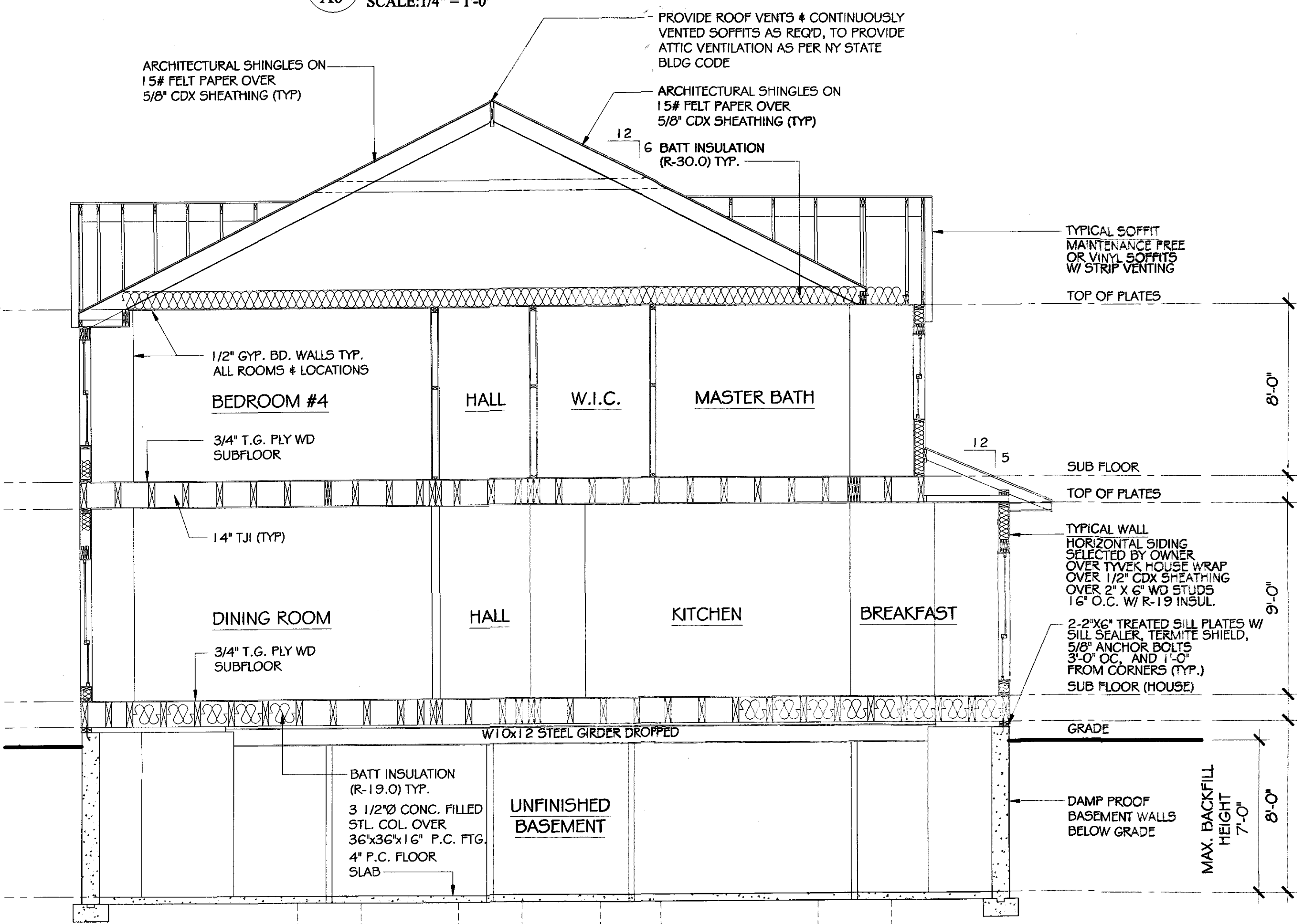
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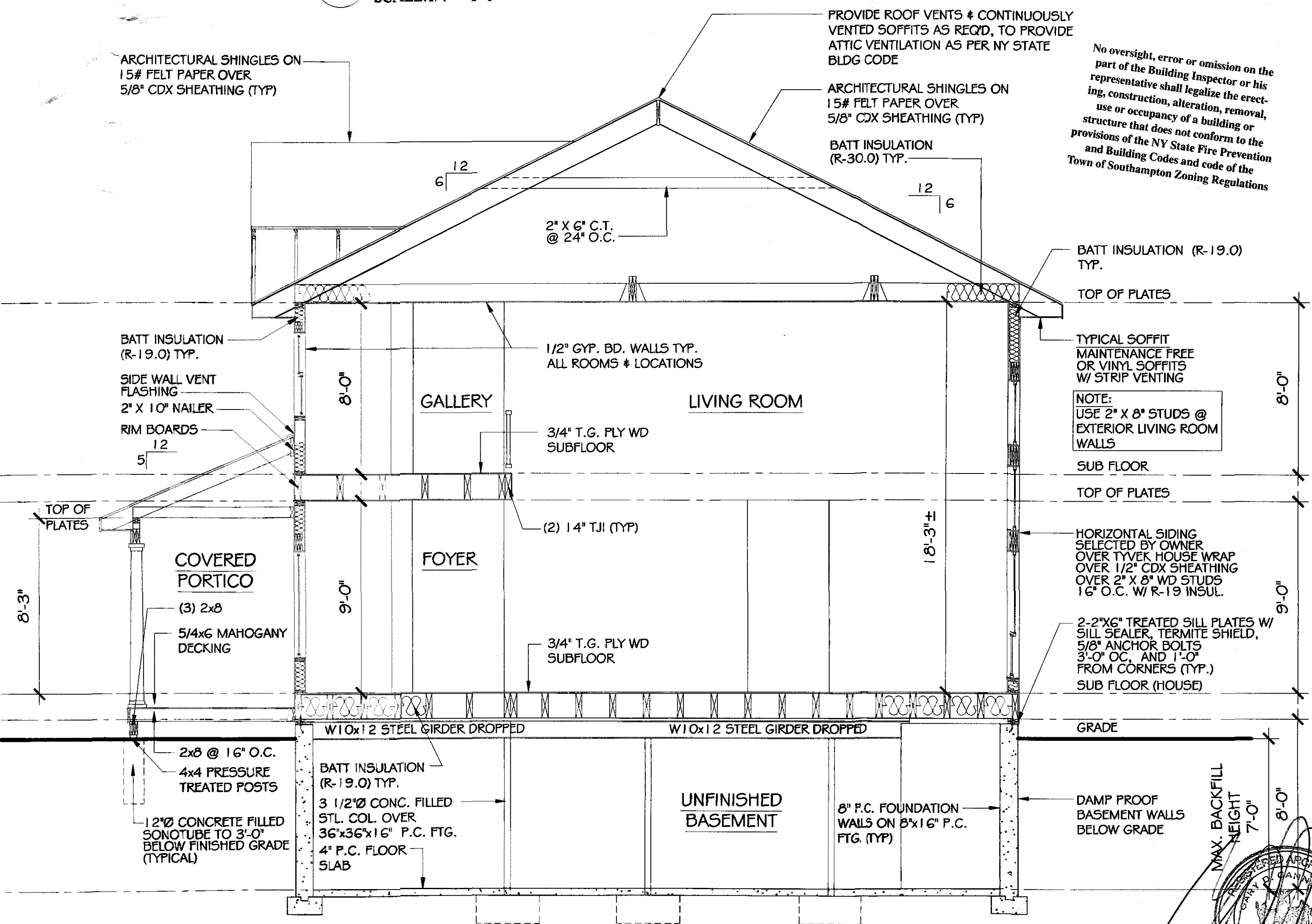
C CROSS SECTION
A6 SCALE: 1/4" = 1'-0"



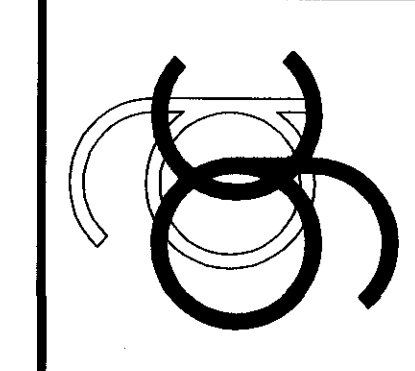
B CROSS SECTION
A6 SCALE: 1/4" = 1'-0"



D CROSS SECTION
A6 SCALE: 1/4" = 1'-0"



A CROSS SECTION
A6 SCALE: 1/4" = 1'-0"



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AF&PA WOOD FRAME CONSTRUCTION 1995 EDITION FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
ROOF FRAMING		
RAFTER TO TOP PLATE, TOE NAILED	3-8d	PER RAFTER
CEILING JOISTS TO PLATE, TOE NAILED	3-8d	PER JOIST
CEILING JOIST TO PARALLEL RAFTERS, FACE NAILED	8-16d	EACH LAP
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAILED	8-16d	EACH LAP
COLLAR TIE TO RAFTER, FACE NAILED	5-8d	PER TIE
BLOCKING TO RAFTER, TOE NAILED	2-8d	EACH END
RIM BOARD TO RAFTER, END NAILED	2-16d	EACH END
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d 3-16d	
WALL FRAMING		
TOP PLATE TO TOP PLATE, FACE NAILED	2-16d	PER FOOT
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAILED	4-16d	EACH SIDE
STUD TO STUD, FACE NAILED	2-16d	24" O.C.
HEADER TO HEADER, FACE NAILED	16d	16" O.C. ALONG EDGES
TOP OR SOLE PLATE TO STUD, END NAILED	2-16d / 3-16d	PER 2x4 / PER 2x6
BOTTOM PLATE TO FLOOR JOIST/ BAND JOIST FACE NAILED	2-16d	PER FOOT
STUD TO SOLE PLATE, TOE NAILED	3-8d OR 2-16d	PER FOOT
DOUBLE TOP PLATES, END NAILED	2-16d	12" O.C.
DOUBLE TOP PLATES, MINIMUM 48-INCHES OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" O.C. ALONG EACH EDGE
CONTINUOUS HEADER TO STUD, TOE NAILED	4-8d	
CONTINUOUS HEADER TO STUD, TWO PIECES	16d	16" O.C. ALONG EACH EDGE
FLOOR FRAMING		
JOIST TO SILL OR GIRDER, TOE NAILED	4-8d	PER JOIST
BRIDGING TO JOIST, TOE NAILED	2-8d	EACH END
BLOCKING TO JOIST, TOE NAILED	2-8d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-16d	EACH BLOCK
LEDGER STRIP TO BEAM (FACE NAILED)	3-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3-8d	PER JOIST
BAND JOIST TO JOIST, END NAILED	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2-16d	PER FOOT
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	(2) 16d	12" O.C.
CEILING SHEATHING		
G.W.B.	5d COOLERS	7" EDGE / 10" FIELD
WALL SHEATHING		

SHEATHING TYPE	LOCATION	FASTENER	SPACING	
			EDGES (INCHES)	INTERMEDIATE
STRUCTURAL PANELS	4' PERIM	8d	6" O.C.	12" O.C.
	INTERIOR ZONE	8d	6" O.C.	12" O.C.
FIBERBOARDS PANELS 7/16 25/32	ALL	6d	3" O.C.	6" O.C.
	ALL	8d	3" O.C.	6" O.C.
GYPSON WALLBOARDS	ALL	5d COOLERS	7" O.C.	10" O.C.
PARTICLEBOARD PANELS	4' PERIM	8d	6" O.C.	12" O.C.
	INTERIOR ZONE	8d	6" O.C.	12" O.C.
FLOOR SHEATHING				
STRUCTURAL PANELS	1" OR LESS	8d	6" EDGE / 12" FIELD	
	MORE THAN 1"	10d	6" EDGE / 6" FIELD	
ROOF SHEATHING				
SHEATHING TYPE	LOCATION	FASTENER	SPACING OF FASTENERS	
			EDGES (INCHES)	INTERMEDIATE
STRUCTURAL PANELS	4' PERIM. EDGE ZONE	8d COMMON NAIL	6" O.C.	6" O.C.
	INTERIOR ZONE	8d COMMON NAIL	6" O.C.	12" O.C.

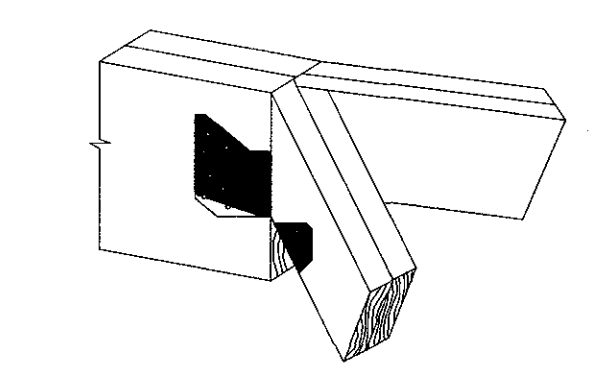
4" FOR ATTACHMENT OF ROOF SHEATHING TO GABLE WALLS.

ASPHALT ROOF SHINGLE NOTE

- ASPHALT SHINGLES SHALL HAVE SELF-SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR D 3462.
- FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS, ALUMINUM, OR COPPER ROOFING NAILS. MINIMUM 12 GAGE SHANKED WITH A MINIMUM 3/8 INCH DIAMETER HEAD, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND SHEATHING.
- ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF 6 FASTENERS REQUIRED BY THE MANUFACTURER. (6 MIN.)
- FOR NORMAL APPLICATION, ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN SIX FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER INDIVIDUAL SHINGLE.

HRC44

24-16d CARRYING MEMBER
6-16d EACH HIP



RIDGE/HIP CONNECTION DETAIL

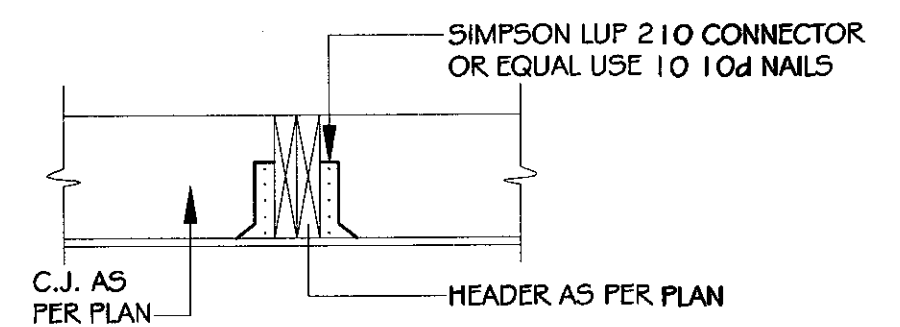
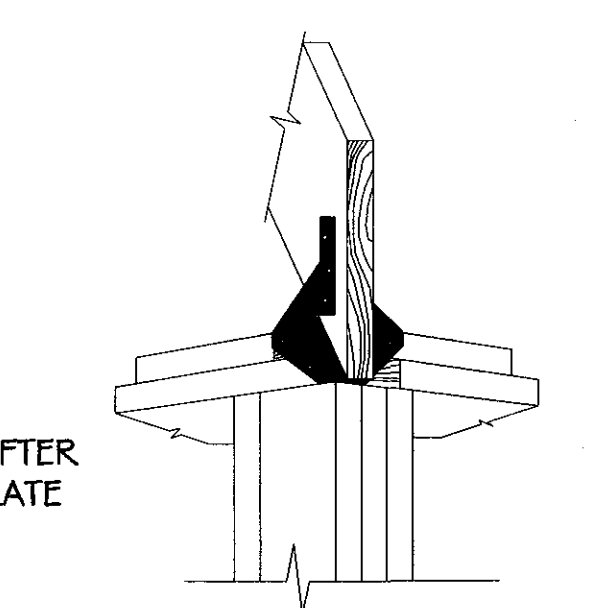
SCALE: N.T.S.

HCP4

8-10d TO RAFTER
8-10d TO PLATE

HCP2

6-10d X 1 1/2" TO RAFTER
6-10d X 1 1/2" TO PLATE

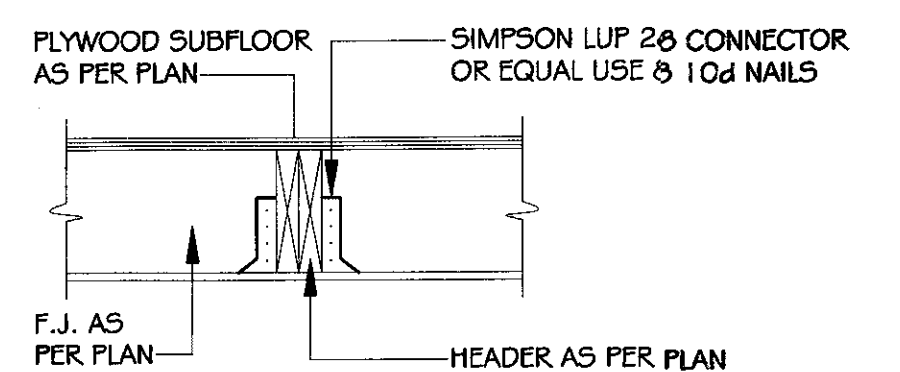
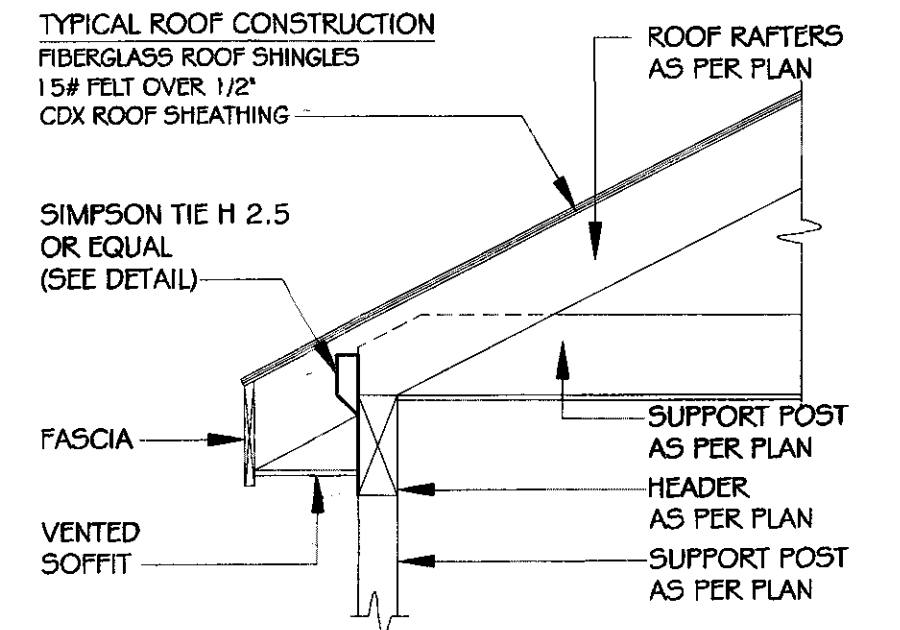


TYPICAL FLUSH HEADER / JOIST CONNECTION AT CEILING

SCALE: N.T.S.

HIP/ TOP PLATE CONNECTION DETAIL

SCALE: N.T.S.



TYPICAL FLUSH HEADER / JOIST CONNECTION AT FLOOR

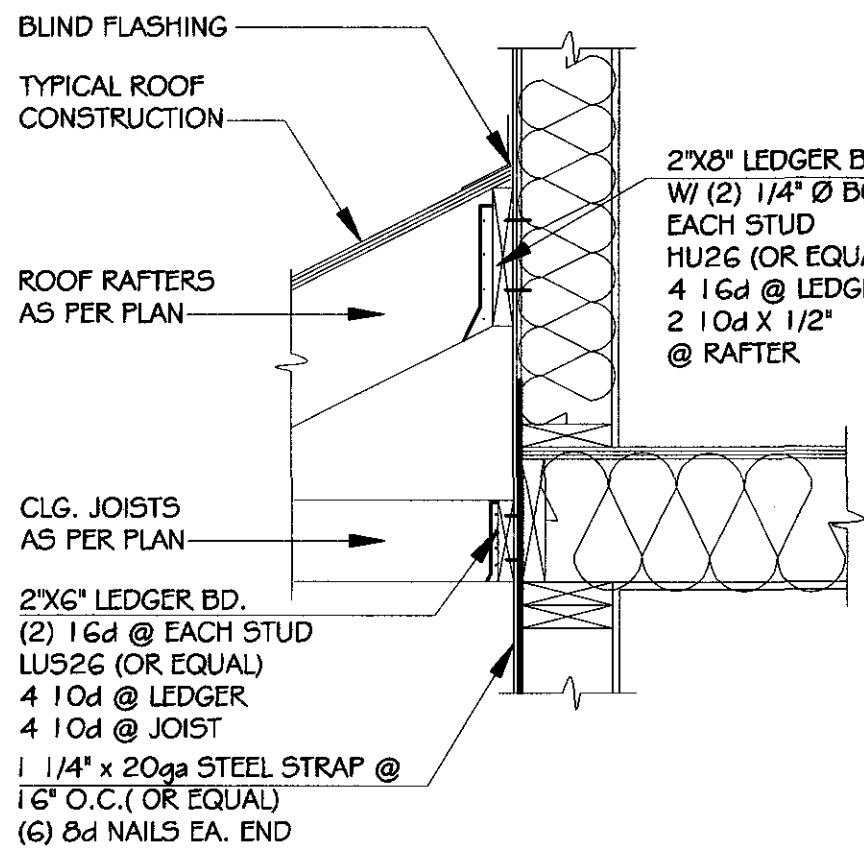
SCALE: N.T.S.

TYPICAL PORCH ROOF DETAIL

SCALE: N.T.S.

TYPICAL DETAIL AT SOFFIT

SCALE: N.T.S.

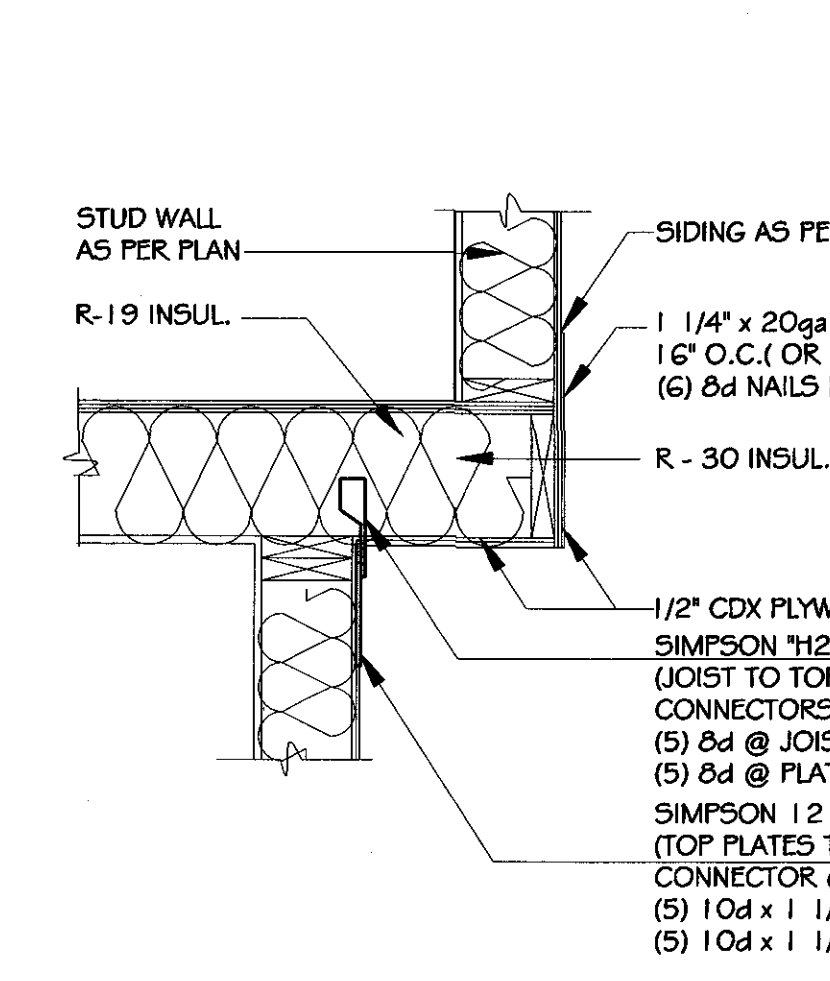


TYPICAL PORCH ROOF FRAMING DETAIL

SCALE: N.T.S.

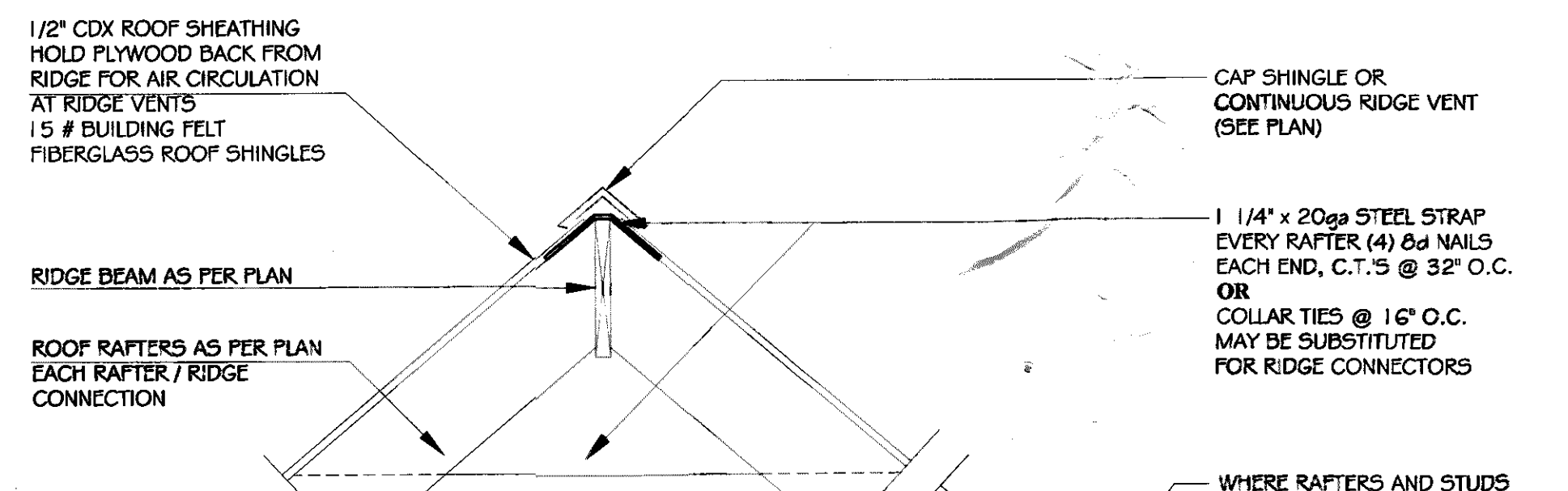
TYPICAL FLUSH HEADER / JOIST CONNECTION AT CEILING

SCALE: N.T.S.



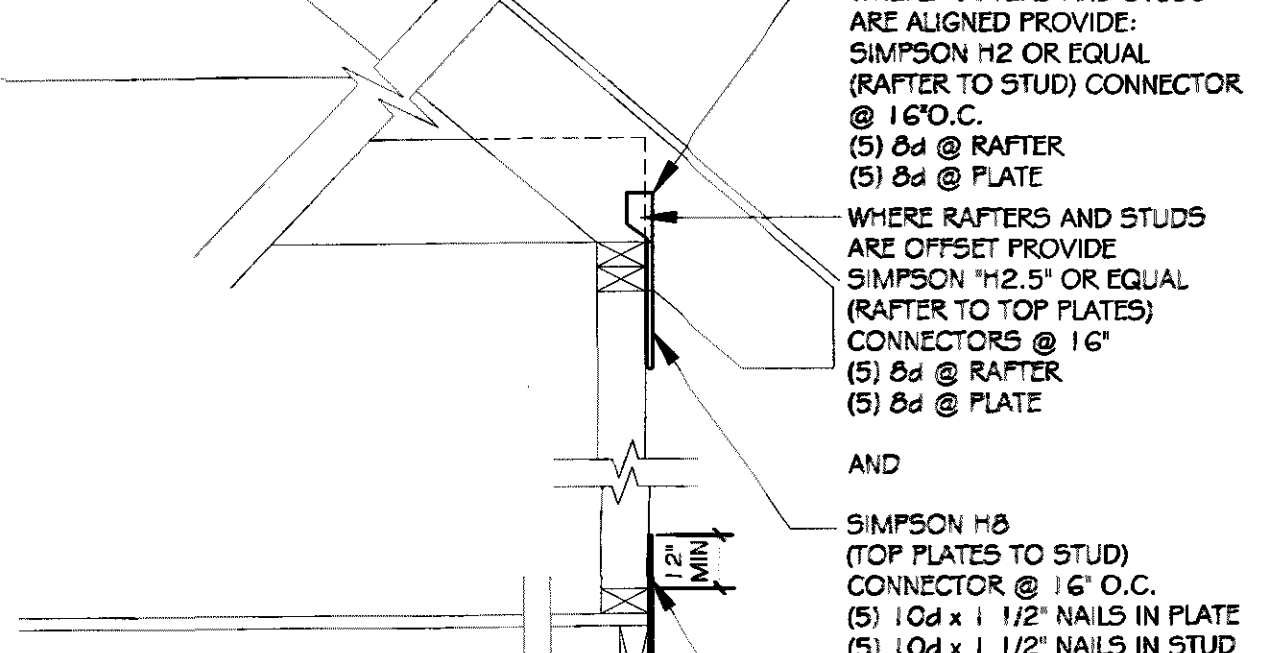
TYPICAL CANTILEVER DETAIL

SCALE: N.T.S.



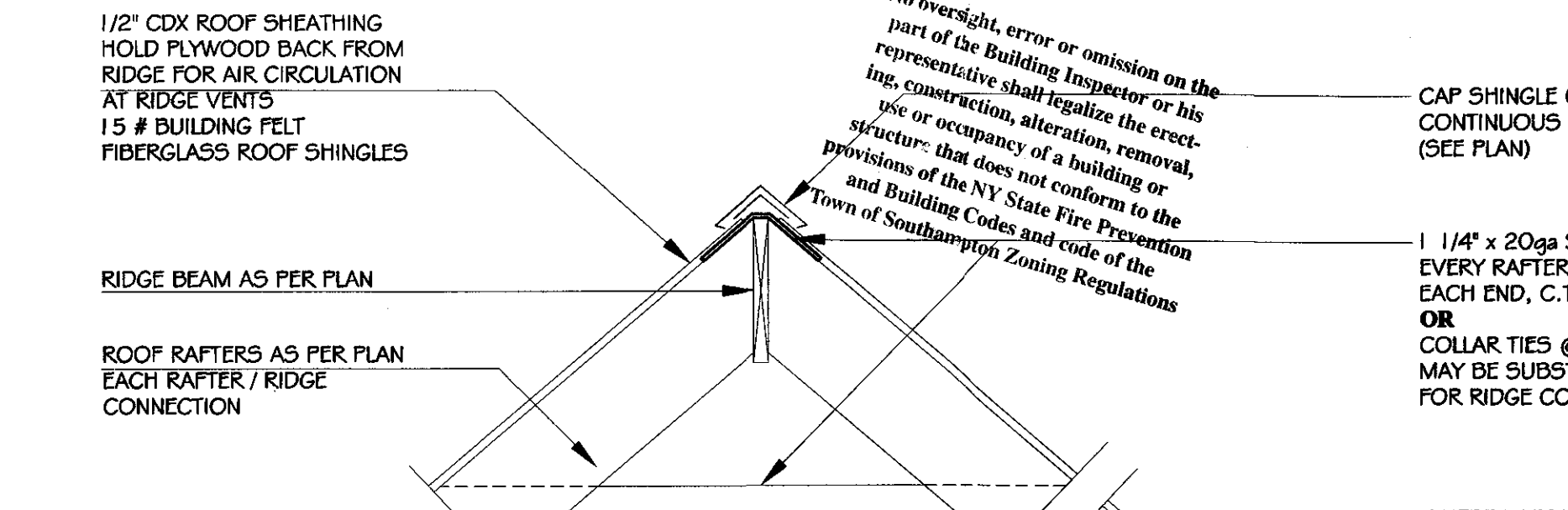
TYP. HOLLOW COL. TIE DOWN

SCALE: N.T.S.



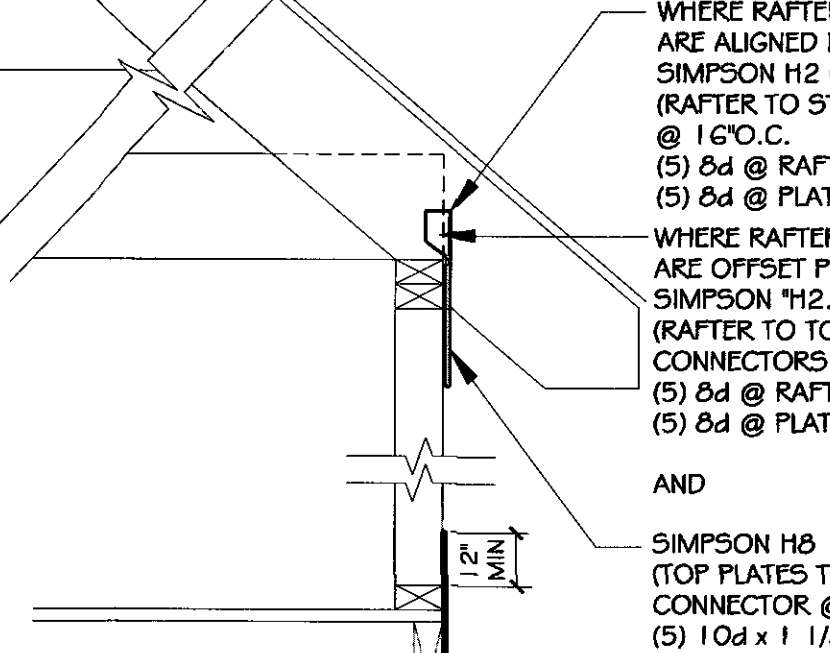
TIE DOWN/FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



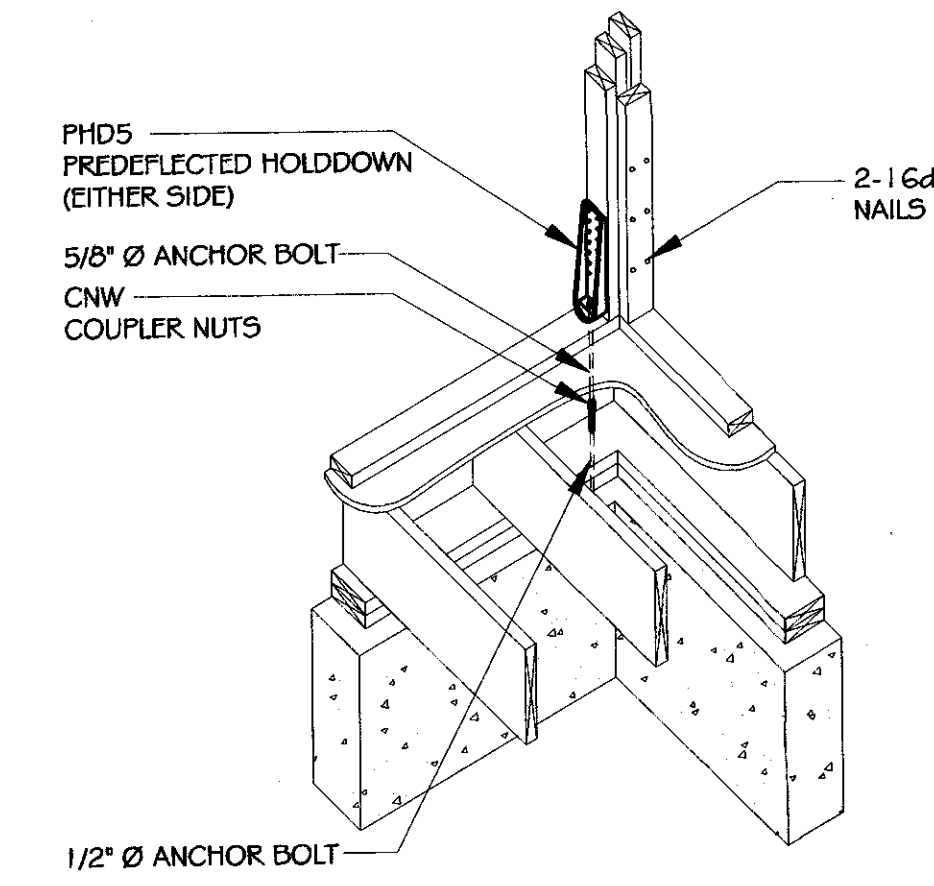
WALL BRACING DETAIL

SCALE: N.T.S.



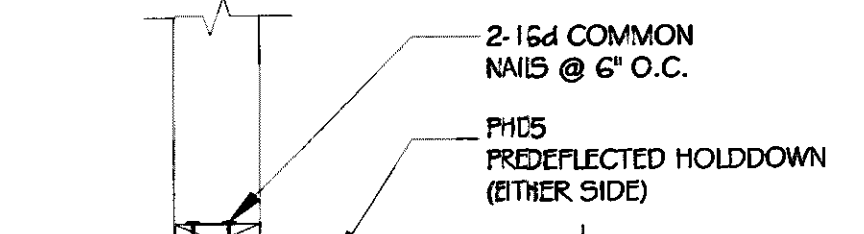
TIE DOWN/FOUNDATION DETAIL

SCALE: 3/4" = 1'-0"



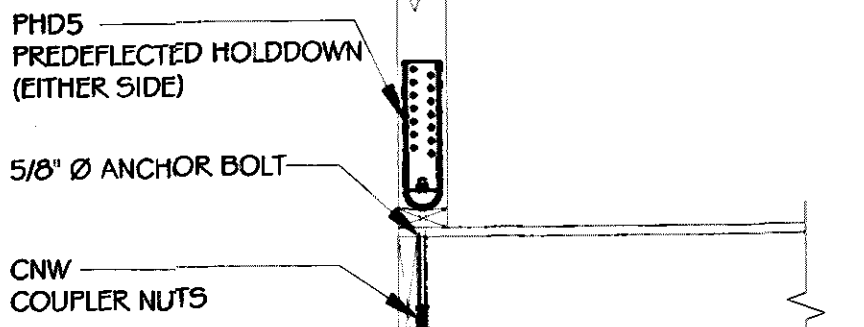
TYPICAL CORNER TIE-DOWN DETAIL

SCALE: N.T.S.



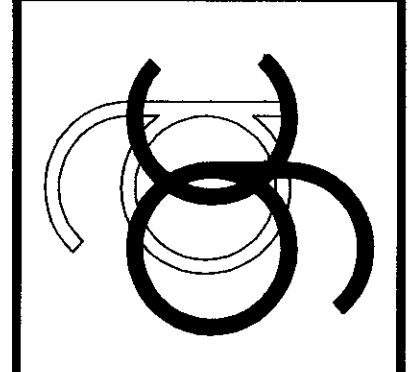
TYPICAL CORNER TIE-DOWN SECTION DETAIL

SCALE: N.T.S.



TYP. HOLLOW COL. TIE DOWN

SCALE: N.T.S.



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THE MOHRMAN RESIDENCE
SOUTHAMPTON MEADOWS LOT # 40
SOUTHAMPTON, NEW YORK
SOUTHAMPTON MEADOWS
CONSTRUCTION CORP.

DETAILS AND SCHEDULES
revisions:

date: 3/22/06
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chkd. by: GDC

sheet no.
A-7

